

**DECEMBER 15, 2015 ZONING HEARING  
“OTHER BUSINESS”  
COMMISSION DISTRICT 4**

**ITEM # 063**

**PURPOSE**

To consider amending the site plan for John Saunders regarding rezoning application #167 (The Oxford Group, Inc.) of 1987, for property located on the north side of the East West Connector between Hospital South Drive and Brookwood Drive, and on the south side of Mulkey Road, east of Austell Road in Land Lots 920 and 921 of the 19<sup>th</sup> District.

**BACKGROUND**

The property was rezoned General Commercial to the site plan in 1987. The shopping center was developed in the 1980's and was used for a number of years. As of the last couple of years, the property has been redeveloping very nicely with a new LA Fitness, news shops and a new restaurant. The applicant proposes to install a new Chase Bank ATM near the new restaurant. The new ATM facility will take up eight parking spaces, which still leaves the shopping with the minimum number of parking spaces. The proposed site plan and the proposed rendering of the new facility are attached for review. If approved, all previous stipulations would remain in effect.

**FUNDING**

N/A

**RECOMMENDATION**

The Board of Commissioners conduct a Public Hearing and consider the proposed site plan amendment.

**ATTACHMENTS**

Other Business application and stipulations.

# Application for "Other Business"

OB-063-2015

## Cobb County, Georgia

(Cobb County Zoning Division - 770-528-2035)

BOC Hearing Date Requested: 12/15/15

Applicant: DAVID GUNTER  
(applicant's name printed)

NOV 10 2015  
Phone #: 704-803-2293

Address: 691 John Wesley Dobbs Ave NE Unit V

E-Mail: Nationwidebuildingpermits@gmail.com

David Gunter  
(representative's name, printed)

Address: 691 J.W. Dobbs Ave NE Atlanta, GA 30312

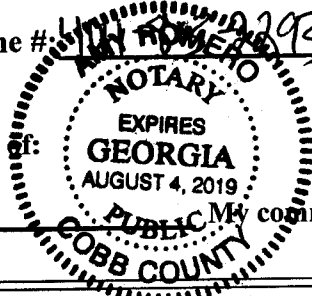
[Signature]  
(representative's signature)

Phone #: 704-803-2293

E-Mail: Nationwidebuildingpermits@gmail.com

Signed, sealed and delivered in presence of:

[Signature]  
Notary Public



My commission expires: 8/4/19

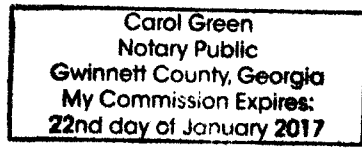
Titleholder(s): Weingarten Nostat, Inc.  
(property owner's name printed)

Phone #: 770-618-1089

Address: 4745 Ashford Dunwoody, Atlanta

E-Mail: walker@weingarten.com

[Signature]  
(Property owner's signature)



Signed, sealed and delivered in presence of:

[Signature]  
Notary Public

My commission expires: 1/22/2017

Commission District: 4

Zoning Case: 167 of 1987

Date of Zoning Decision: 8-18-87

Original Date of Hearing: 8-18-87

Location: 3999 Austell Road (Austell Rd + E-W Connector)  
(street address, if applicable; nearest intersection, etc.)

Land Lot(s): 921

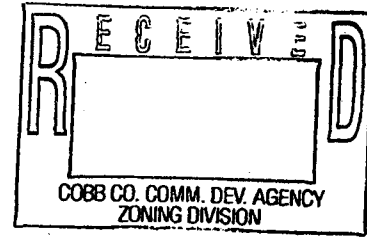
District(s): 19

State specifically the need or reason(s) for Other Business: Rezoning application # 167 (The Oxford Group, Inc.) of 1987. Required by code.

08-063-2015

07/10/2014

**Contact Info:** John Saunders 404-287-6390  
Email- permitconsulting@gmail.com



**Subject Property :** Brookwood Square Shopping Center  
**Property Address:** 1825 East West Connector Austell GA 30106

**TYPE OF PROJECT:**

INSTALLATION OF A NEW DRIVE-UP JP MORGAN CHASE BANK SIGNATURE CANOPY & ATM BUILDING. HEDACHE BAR, AND MISCELLANEOUS BOLLARDS

**SCOPE OF WORK**

MODIFY EXISTING FOUNDATION. WITH NEWENGINEERED PAD, INSTALL NEW PRE-MAUNUFACTURED ATM TYPE-U BUILDING & ACCECSORIES SUCH AS BOLLARDS AND HEADACHE BAR / CLEARANCE INDICATOR. MODIFY CURB TO WIDEN DRIVE THROUGH

**Zoning :** CRC

**APN #** 19093100220

**APPLICABLE BUILDING CODE:** 2010 California Building Code (based on IBC 2006) 2010 National Electric Code

**LOT SIZE (ACRES) -** 9.03 acres

**Parking Implications:** 0 parking stalls affected

**AREA DISTURBED:** .001603 acres < 70 Sq. Ft.

**OCCUPANCY TYPE -** U

**Contact Info:** John Saunders 404-287-6390  
Email- permitconsulting@gmail.com

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**OFF-PREMISE ATM AND CANOPY PROJECT**



**BROOKWOOD SQUARE  
1825 E WEST CONNECTOR  
AUSTELL, GA 30106-1247**

**CONTACT INFORMATION:**

**JOSHUA HIGGINS  
10672 JASMINE AVE  
FONTANA, CA 92337  
909-770-7927**

**TYPE OF PROJECT**

INSTALLATION OF A NEW JPMORGAN CHASE SIGNATURE CANOPY,  
ATM DOGHOUSE (BUILDING), HEADACHE BAR, AND MISC.  
BOLLARDS.

**SCOPE OF WORK**

INSTALL NEW PRE-MANUFACTURED ATM TYPE-U BUILDING,  
MODIFY (E) ATM FOUNDATION WITH NEW ENGINEERED PAD.  
INSTALL NEW 10' HEADACHE BAR TO CURRENT STANDARD CODE  
SONOTUBE FOOTING. BOLLARDS AS NECESSARY ON (E)  
FOUNDATION PAD. MODIFY (E) CURB TO WIDEN DRIVE THROUGH

**APPLICABLE BUILDING CODE**

2010 CALIFORNIA BUILDING CODE (BASED ON IBC 2006)  
2010 NATIONAL ELECTRICAL CODE

**LOT SIZE (ACRES) - 9.03**

TOTAL AREA DISTURBED: 0.257 ACRE(S)

**OCCUPANCY TYPE - U**

**ZONING: CRC**

**APN: 19093100220**

**TRACT ID:**

**LOT: SIZE: 9.03 acres**

**PARKING IMPLICATIONS-**

ATM PAD ON (E) PAD 0 PARKING  
STALLS IMAPCATED.

**SQUARE FOOTAGE OF**

**DISTURBED SOIL FOR**

**FOUNDATION OF DOGHOUSE**

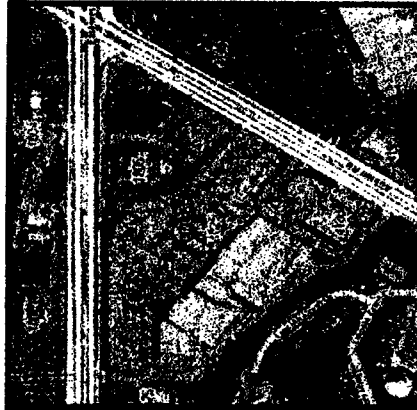
**BUILDING - 70 sq ft**



**WORK SITE**

**LOCATION MAP**

**NO SCALE**



**COBB COUNTY ZONING MAP**

**NO SCALE**

**GOVERNMENT SOLUTIONS**

**PERFORMANCE IMPLEMENTATION SOLUTIONS**

**CLIENT  
CHASE BANK  
1825 E WEST CONNECTOR  
KENNESAW, GA 30144**

**ISSUE  
03.07.14**

**PROJECT NO.  
GA  
PROJECT  
BROOKWOOD  
SQUARE**

**DRAWN BY  
PROJECT  
ATM / TTM BLDG  
PROJECT**

**T  
01**



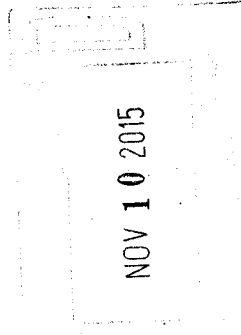
**RECEIVED**

**JUL 13 2015**

**COBB CO. COMM. DEV. AGENCY  
ZONING DIVISION**

## GENERAL NOTES

1. NEW CONCRETE FOUNDATION SUPPORTING CANOPY AND DOGHOUSE SHALL BE NO LESS THAN 3000 PSI
2. ALL REMOVED / DISTURBED SOIL WILL BE CONTAINED AND DISPOSED OF SO THAT NO SOIL WILL REACH THE NEAREST DRAIN PER BEST MANAGEMENT PRACTICES GUIDELINE(S).
3. REBAR MATS FOR ATM CONCRETE PAD:  
REFERENCE ENGINEERED DRAWINGS ICON SOLUTIONS PAGE 11
- \*REFERENCE FOUNDATION DETAIL OF ACCOMPANIED MANUFACTURE ENGINEERED DRAWINGS - PAGE 11
4. DOGHOUSE & CANOPY MANUFACTURE UL CERTIFIED
5. ANCHOR BOLTS USED FOR CANOPY TO BE EMBEDDED IN CONCRETE AT LEAST 10" PER SPEC.
9. ALL EXTERIOR LIGHTING SHALL HAVE CONTROL THAT AUTOMATICALLY TURN OFF OR LOWER LIGHT LEVELS DURING INACTIVE PERIODS FROM DUSK TO DAWN. CANOPY IS TO UTILIZE PHOTOCELL
10. ALL EXCAVATED MATERIAL AND DEBRIS ARE TO BE EXPORTED TO AN APPROVED CITY OF ATLANTA LANDFILL



MANUFACTURING DETAIL WET STAMPED AND SIGNED BY LOCAL LICENSED STRUCTURAL ENGINEER, ACCOMPANIED FOR REFERENCE ONLY

	CLIENT CHASE BANK 1925 E WEST CONNECTOR KENNESAW, GA 30144	DATE 03.07.14	PROJECT NO. 5	DRAWN BY JM	DESCRIPTION CANOPY PROJECT	PROJECT BROOKWOOD SQUARE	<b>A</b>	01

COMBUSTION BRANDS  
NATIONWIDE IMPLEMENTATION SOLUTIONS

RECEIVED  
JUL 13 2015  
0088 CO. COMM. DEV. AGENCY  
ZONING DIVISION  
905 SE BANK  
1825 E WEST CONNECTOR  
KENNESAW, GA 30144

DATE: 03.07.14  
PROJECT NO.:  
PROJECT: BROOKWOOD SQUARE  
GA

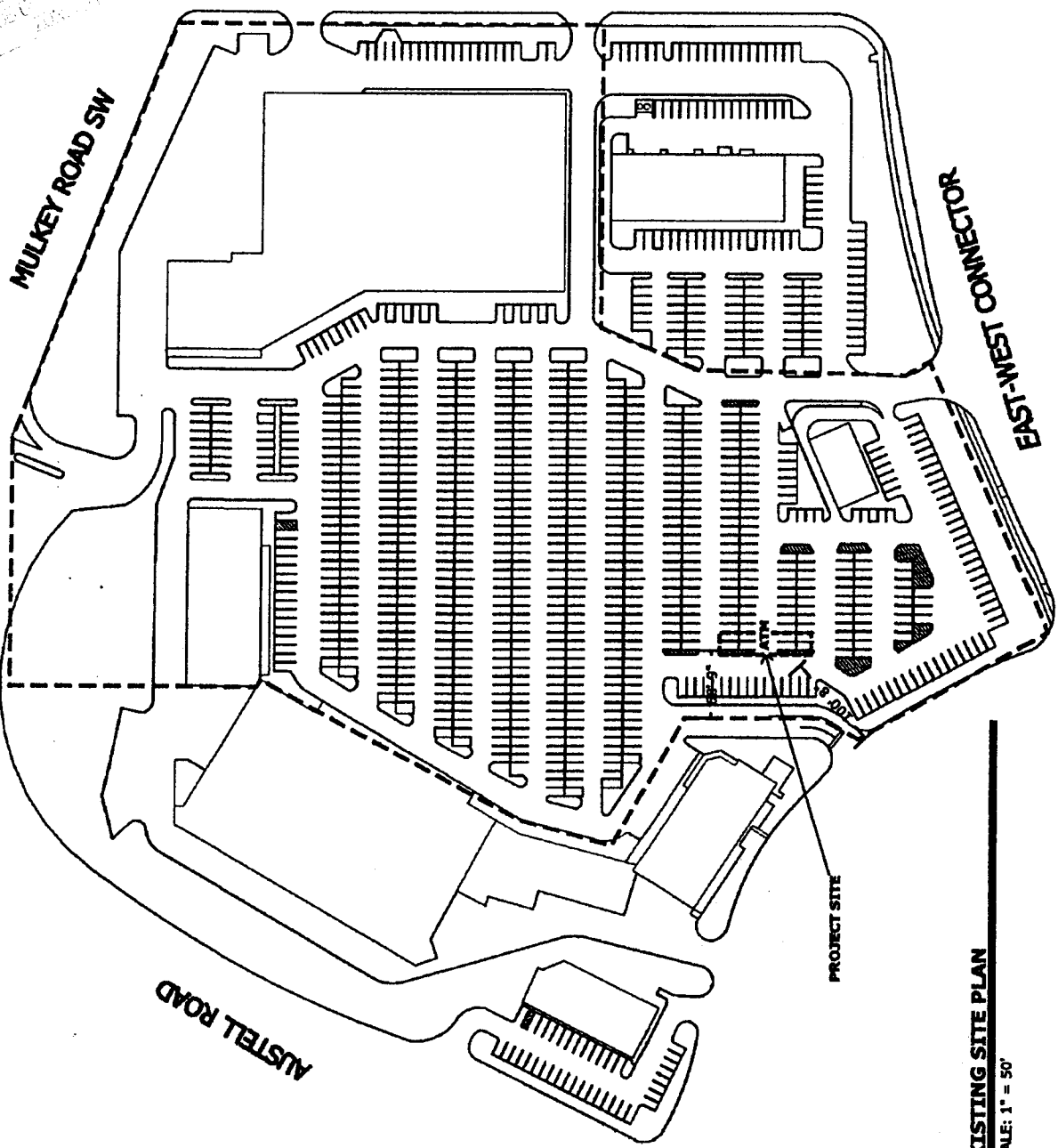
02  
A  
SITE PLAN  
DESCRIPTION: JH  
DRAWN BY: JH

RECEIVED  
NOV 10 2015  
COMMUNITY DEVELOPMENT  
DIVISION



THE PROPERTY LINES AND SETBACKS ARE TO BE SHOWN BY PUBLIC RECORDS. THIS SITE PLAN IS FOR REFERENCE ONLY FOR THE AREA OF PROPOSED WORK TO THE EXISTING PROPERTY LINES AND THE EXISTING SETBACKS. THIS SITE PLAN IS NOT TO BE EXISTING SETBACKS. THE PROPOSED SETBACKS SHALL BE SHOWN BY PUBLIC RECORDS. THE PROPOSED SETBACKS SHALL BE SHOWN BY PUBLIC RECORDS. THE PROPOSED SETBACKS SHALL BE SHOWN BY PUBLIC RECORDS. THE PROPOSED SETBACKS SHALL BE SHOWN BY PUBLIC RECORDS.

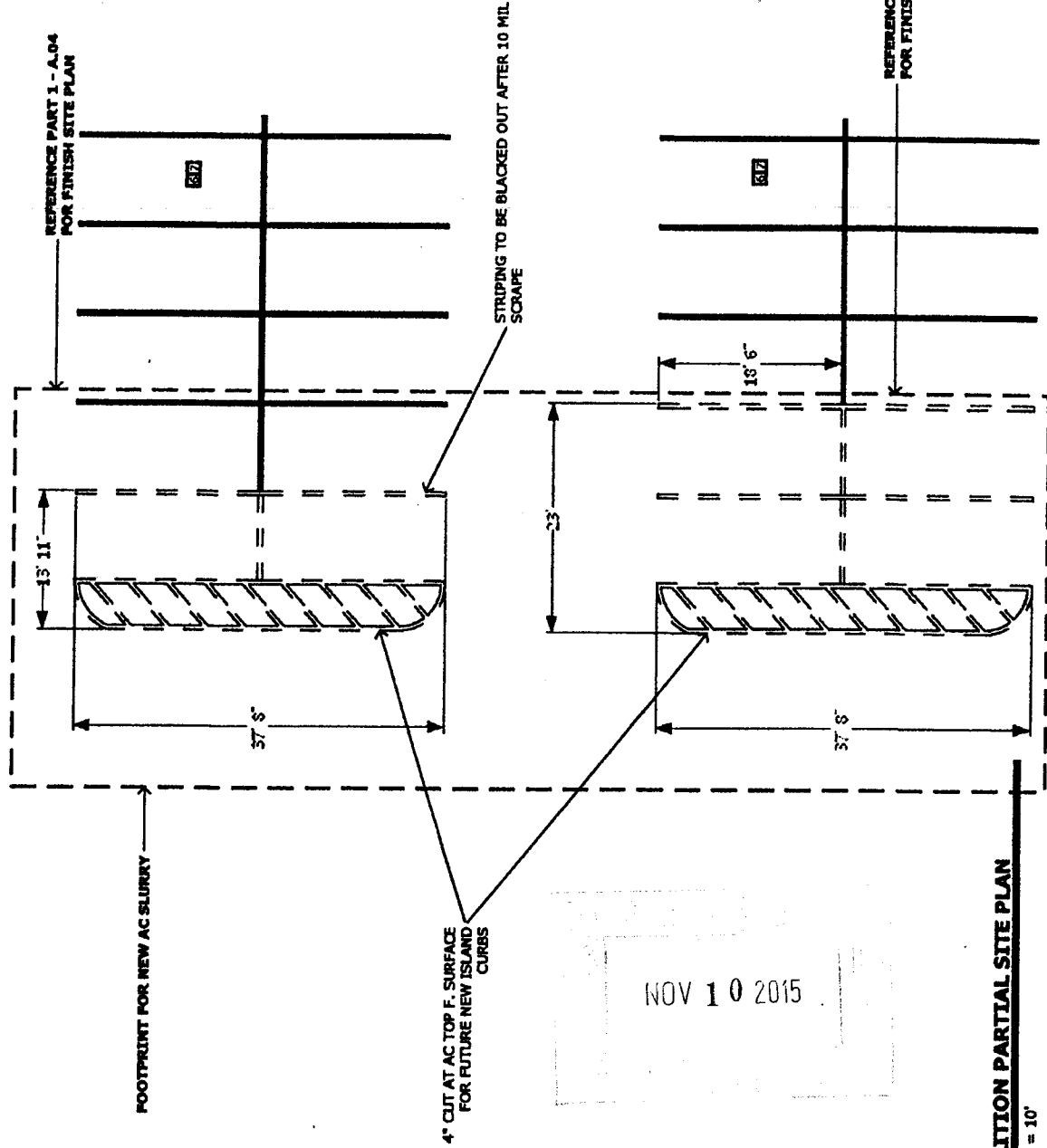
BROOKWOOD DRIVE SW



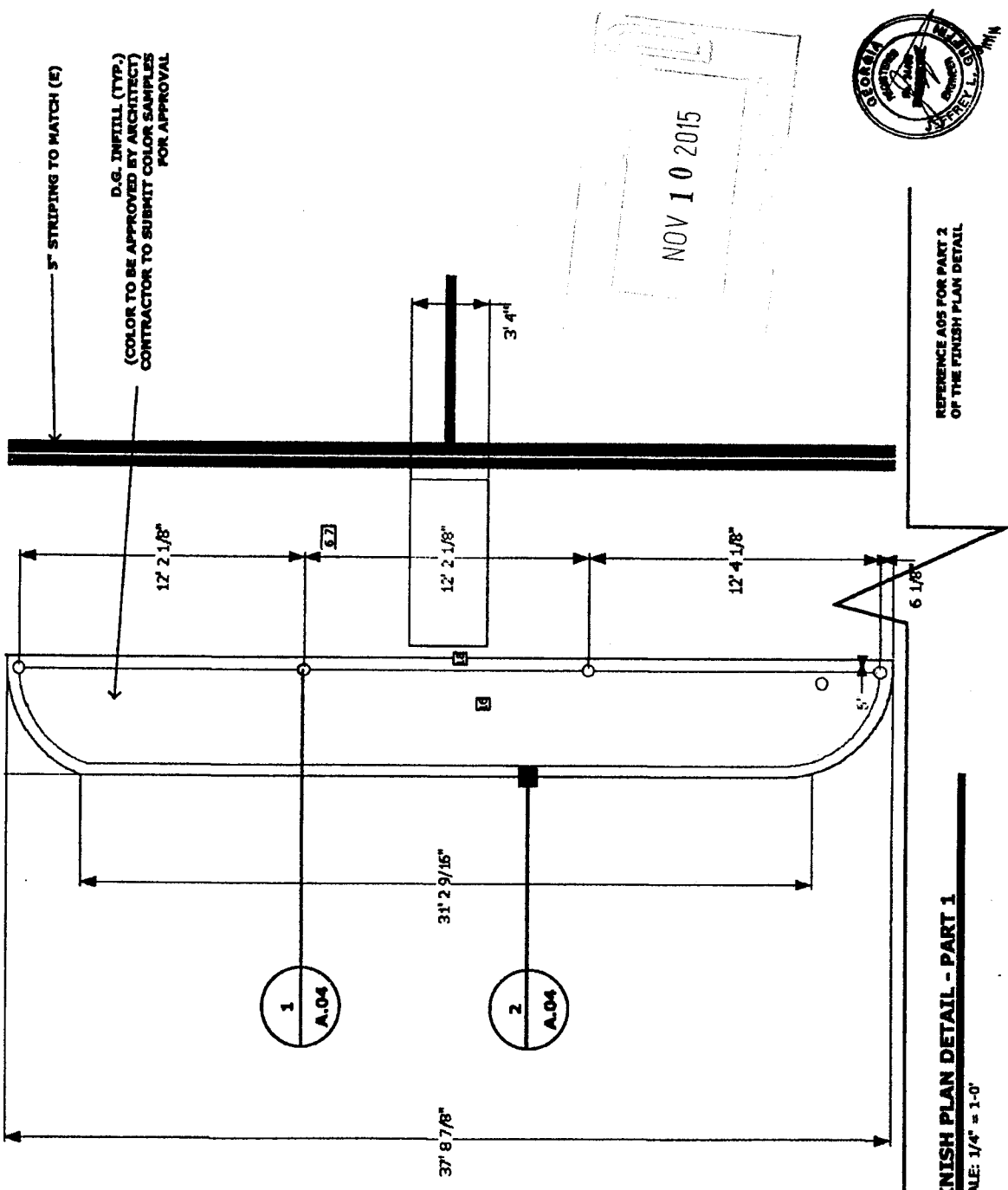
EXISTING SITE PLAN  
SCALE: 1" = 50'



SITE PLAN NOTES	
1	(N) CHASE DRIVE UP ATM W/ CANOPY
2	(N) DEMO (S) LANDSCAPE, SHRUBS AND TRIMMING AS REQ. TO REPAIR
3	(S) 8" TYPE CURB AND LANDSCAPE TO REMAIN
4	(S) LIGHT POLE TO REMAIN
5	(S) TRUSS TO REMAIN
6	(S) PARKING STALLS TO REMAIN (TYP.)
7	(S) ASPHALT PAVEMENT TO REMAIN
8	(S) 8" TYPE CURB TO BE DEMOLISHED
9	(S) POST LOTTING TO BE DEMOLISHED (TYP.)
10	(S) HEADACHE BAR TO BE REMOVED
11	(S) ATM FOUNDATION PAD TO BE DEMOLISHED
12	(S) ELECTRICAL METERBOX AND METER TO BE RELOCATED FOR FUTURE USE
13	(S) BOLLARDS TO BE REMOVED TYP.
14	(S) ATM FOUNDATION (REF. ENGINEER DRAWINGS)
15	(S) HEADACHE BAR (REF. ENGINEER DRAWINGS)
16	(S) 8" O.D. BOLLARDS (REF. ENGINEER DRAWINGS)
17	(S) TYPE-B CURB
18	(S) ASPHALT SLURRY SEAL
19	(S) CANOPY & DOORHOUSE
20	(S) ATM & ARROW STENCIL
	EXISTING _____
	NEW _____
	DEMOLITION _____



**DEMOLITION PARTIAL SITE PLAN**  
SCALE: 1" = 10'



NOV 10 2015

REFERENCE A05 FOR PART 2 OF THE FINISH PLAN DETAIL

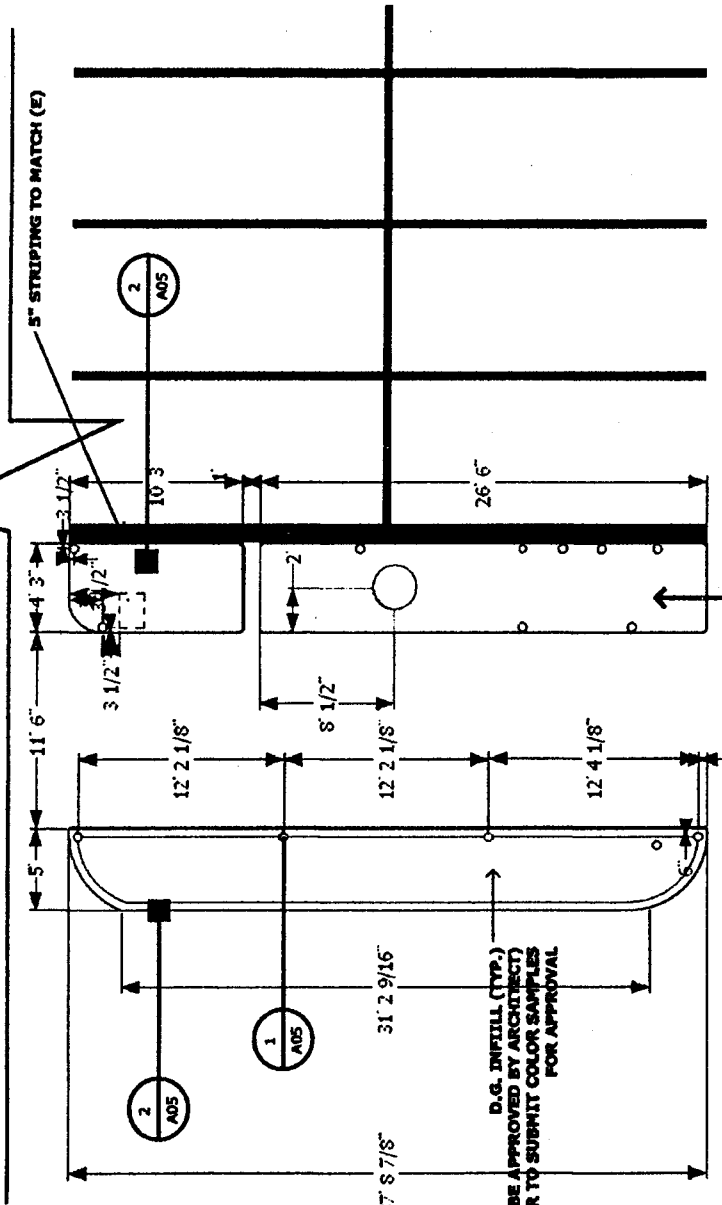
**FINISH PLAN DETAIL - PART 1**  
SCALE: 1/4" = 1'-0"

<b>COMBEST BARBER</b> LANDSCAPE ARCHITECTURE & PLANNING SOLUTIONS		CLIENT CHASE BANK 1225 E WEST CONNECTOR KENNESAW, GA 30144	DATE 03.07.14	PROJECT NO. GA	DRAWN BY JH	DESCRIPTION FINISH PLAN DETAIL	<b>A</b>	04
<b>SITE PLAN NOTES</b>		1 BOLLARD DETAIL (TYP.)		2 C4 ROLLED B POURED CONCRETE CURB DETAIL		1 BOLLARD DETAIL (TYP.) 		
1	(1) CHASE DRIVE UP ATM	1	(1) 4" TYPE CURB TO BE	EXISTING	NEW	DEMOLITION		
2	(2) CHERRY & DOGHOUSE	2	(2) 4" TYPE CURB TO BE	EXISTING	NEW	DEMOLITION		
3	(3) LIGHT POLE TO REMAIN	3	(3) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
4	(4) TRUSS TO REMAIN	4	(4) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
5	(5) PARKING STALLS TO REMAIN	5	(5) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
6	(6) TRUSS TO REMAIN	6	(6) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
7	(7) TRUSS TO REMAIN	7	(7) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
8	(8) TRUSS TO REMAIN	8	(8) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
9	(9) TRUSS TO REMAIN	9	(9) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
10	(10) TRUSS TO REMAIN	10	(10) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
11	(11) TRUSS TO REMAIN	11	(11) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
12	(12) TRUSS TO REMAIN	12	(12) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
13	(13) TRUSS TO REMAIN	13	(13) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
14	(14) TRUSS TO REMAIN	14	(14) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
15	(15) TRUSS TO REMAIN	15	(15) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
16	(16) TRUSS TO REMAIN	16	(16) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
17	(17) TRUSS TO REMAIN	17	(17) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
18	(18) TRUSS TO REMAIN	18	(18) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
19	(19) TRUSS TO REMAIN	19	(19) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		
20	(20) TRUSS TO REMAIN	20	(20) ASPHALT PAVEMENT TO REMAIN	EXISTING	NEW	DEMOLITION		



NOV 10 2015

REFERENCE A04 FOR PART I  
OF THE FINISH PLAN DETAIL



REFERENCE ENGINEER DRAWINGS  
FOR CONCRETE FOUNDATION DETAILS AND CALCS



SITE PLAN NOTES	
1	(V) CHASE DRIVE UP ATH W/CONOPY
2	MODIFY (B) LANDSCAPE SHRUBS AND IRRIGATION AS REQ.
3	(C) 8" TYPE CURB AND LANDSCAPE TO REMAIN
4	(C) LIGHT POLE TO REMAIN
5	(C) TUBS TO REMAIN
6	(C) PARKING STALLS TO REMAIN (TYP.)
7	(E) ASPHALT PAVEMENT TO REMAIN
8	(E) 8" TYPE CURB TO BE DEMOLISHED
9	(C) POST FOTTING TO BE DEMOLISHED (TYP.)
10	(E) HIRADACHE BAR TO BE REMOVED
11	(E) ATH FOUNDATION PAID TO BE DEMOLISHED
12	(E) ELECTRICAL RETROFOR AND EQUIPMENT TO BE RELOCATED FOR FUTURE USE
13	(C) BOLLARDS TO BE REMOVED
14	(V) ATH FOUNDATION (REF. ENGINEER DRAWINGS)
15	(V) HEADACHE BAR (REF. ENGINEER DRAWINGS)
16	(V) C/O.G. BOLLARDS (REF. ENGINEER DRAWINGS) TYP.
17	(V) TYPE-B CURB
18	(V) ASPHALT SURFURY
19	(V) CHADPY & DOORHOUSE
20	(V) ATH & ARROW STENCIL
EXISTING _____	
NEW _____	
DEMOLITION _____	

1	BOLLARD DETAIL (TYP.)
2	C/ POLLED B POURED CONCRETE CURB DETAIL

**04A**

**A**

DRAWN BY: JH  
CHECKED BY: JH  
PROJECT: FINISH PLAN  
DETAIL PART II

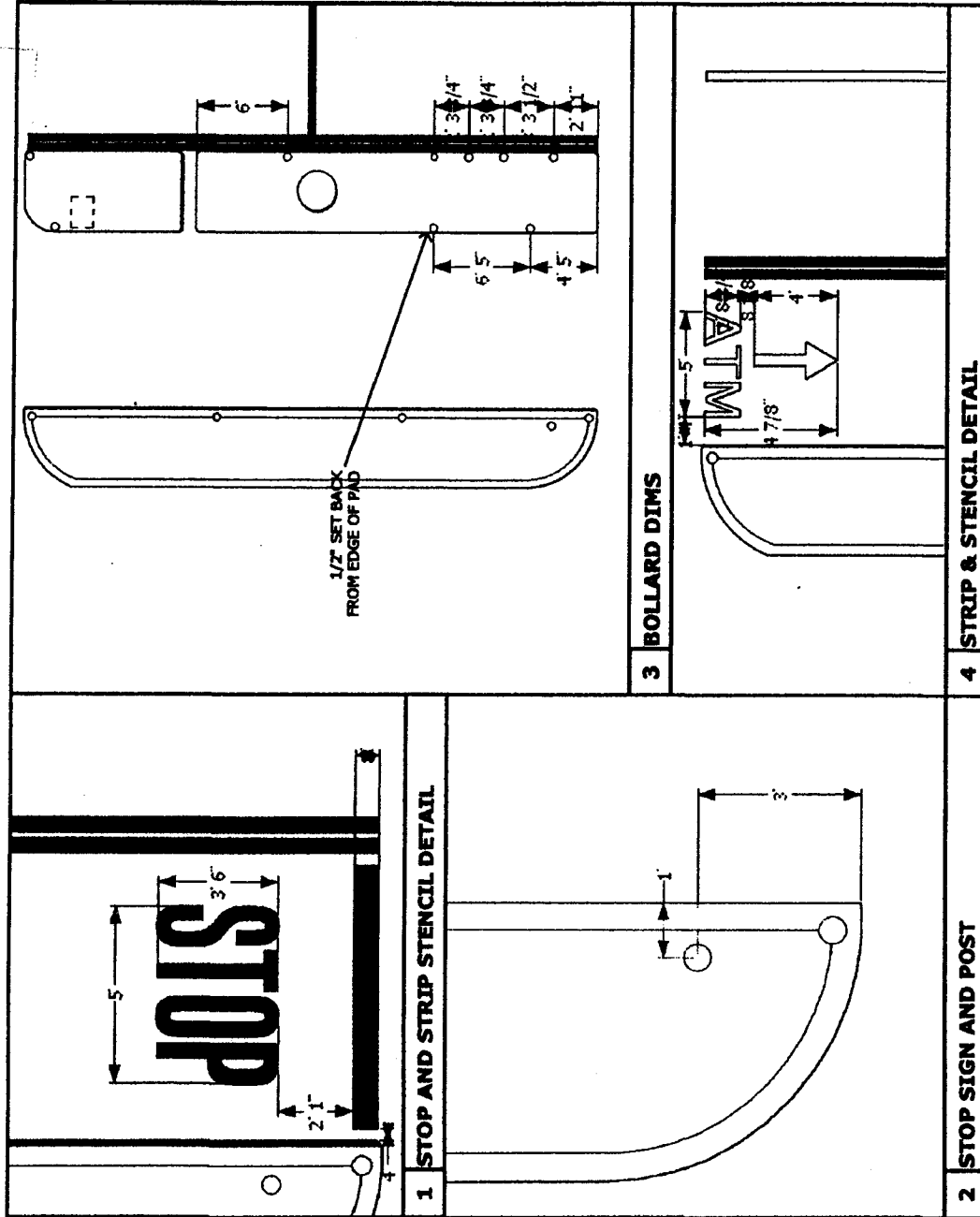
PROJECT: BROOKWOOD SQUARE  
CLIENT: CHASE BANK  
1825 E WEST CONNECTOR  
KENNESAW, GA 30144

ISSUE: 03.07.14

HANDICAP IMPLEMENTATION SOLUTIONS

**FINISH PLAN DETAIL - PART II**  
SCALE: 1/4" = 1'-0"

NOV 10 2015



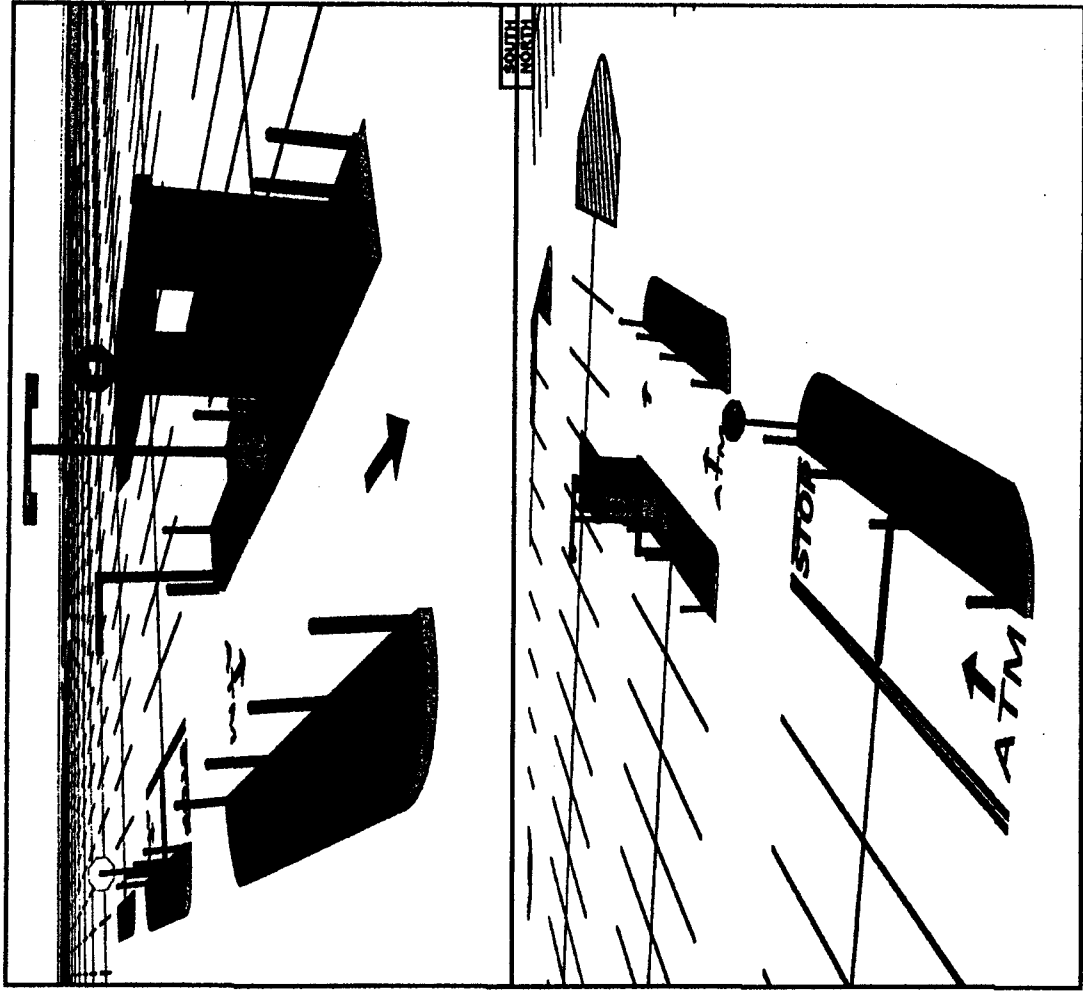
SITE PLAN NOTES	
1	(1) CHASE DRIVE UP ATN W/CONCRETE
2	(2) MOOREY (3) LANDSCAPE, SHRUBS AND IRRIGATION AS REQ.
3	(3) 18" TYPE CURB AND LANDSCAPE TO REMAIN
4	(4) LIGHT POLE TO REMAIN
5	(5) TREES TO REMAIN
6	(6) PARKING STALLS TO REMAIN (TYP.)
7	(7) ASPHALT PAVEMENT TO REMAIN
8	(8) 18" TYPE CURB TO BE DEMOLISHED
9	(9) POST FLYTING TO BE DEMOLISHED (TYP.)
10	(10) HANDICAP HAS TO BE REMOVED
11	(11) ATN FOUNDATION PAD TO BE DEMOLISHED
12	(12) ELECTRICAL METERBOX AND DISCONNECT TO BE RELOCATED TO UTILITY USE
13	(13) BOLLARDS TO BE DEMOLVED
14	(14) ATN FOUNDATION (REF. ENGINEER DRAWINGS)
15	(15) HEADACHE BAR(REF. ENGINEER DRAWINGS)
16	(16) 6" O.D. BOLLARDS(REF. ENGINEER DRAWINGS) TYP.
17	(17) TYPE-B CURB
18	(18) ASPHALT
19	(19) CHIMNEY & DOORHOUSE
20	(20) ATN & ARROW STENCIL
EXISTING _____	
NEW _____	
DEMOLITION - - -	



**CONCRETE SOLUTIONS**  
 LANDSCAPE IMPLEMENTATION SOLUTIONS

**A**  
 05

**PARTIAL PLAN DETAIL**  
 SCALE: NOT TO SCALE



ELEVATION PLAN DETAIL  
NOT TO SCALE

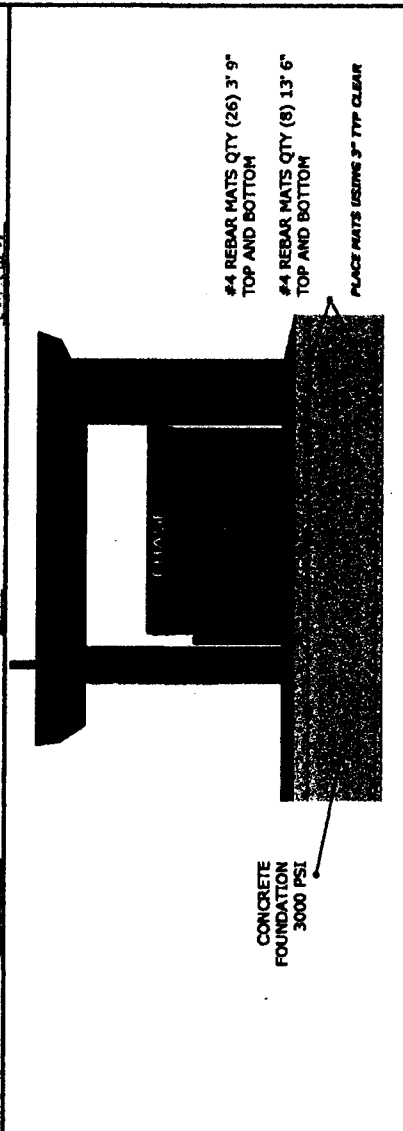
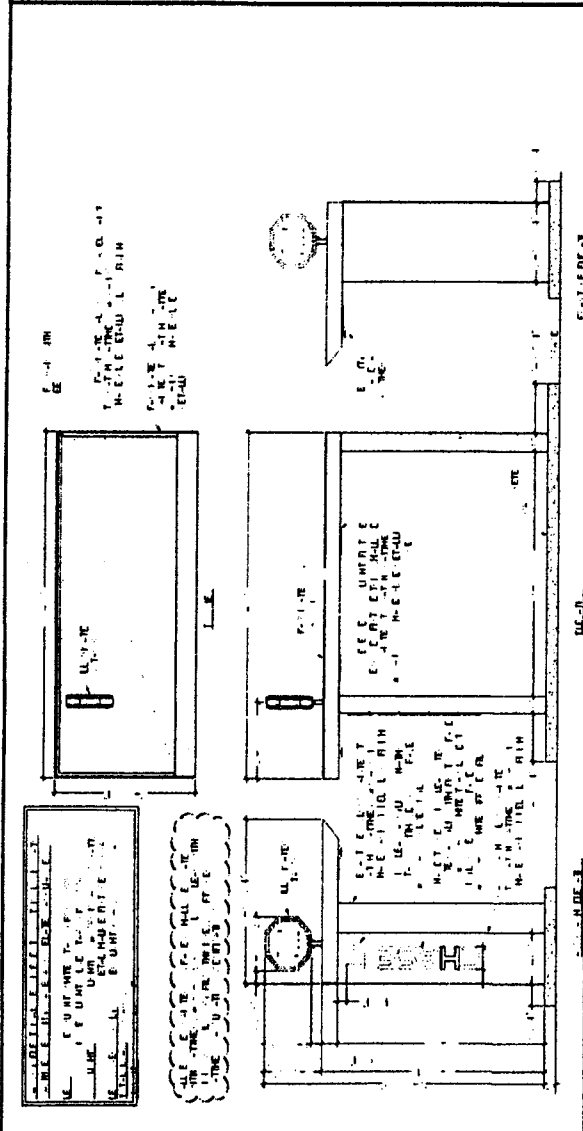
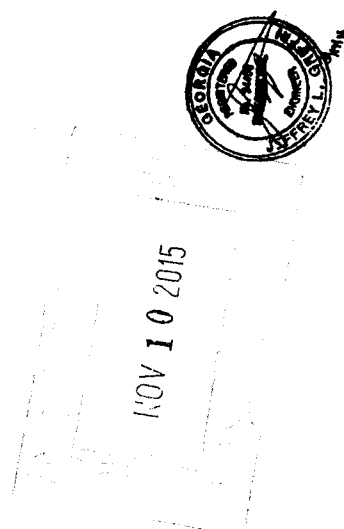
NOV 10 2015

NO.	DESCRIPTION
1	(1) CHASE DRIVE UP ATM W/CONCRETE
2	(2) MONKEY (2) LANDSCAPE STRIPS AND IRRIGATION AS REQ.
3	(3) 1" TYPE CURB AND LANDSCAPE TO REMAIN
4	(4) LIGHT POLE TO REMAIN
5	(5) TREES TO REMAIN
6	(6) PAINTING STALLS TO REMAIN (TYP.)
7	(7) ASPHALT PAVEMENT TO REMAIN
8	(8) 8" TYPE CURB TO BE DEMOLISHED
9	(9) POST FOOTING TO BE DEMOLISHED (TYP.)
10	(10) HEADACHE BAR TO BE REMOVED
11	(11) ATM FOUNDATION PAD TO BE DEMOLISHED
12	(12) ELECTRICAL WETWORK AND RECONNECT TO BE RELOCATED FOR FUTURE USE
13	(13) BOLLARDS TO BE REMOVED
14	(14) ATM FOUNDATION (REF. ENGINEER DRAWINGS)
15	(15) HEADACHE BARRIER, ENGINEER DRAWINGS
16	(16) 6" O.D. BOLLARDS (REF. ENGINEER DRAWINGS) TYP.
17	(17) TYPE-8 CURB
18	(18) ASPHALT SURTY SEAL
19	(19) CHERRY & DOORHOUSE
20	(20) ATM & ARROW STRUCT.
EXISTING	
NEW	
DEMOLITION	



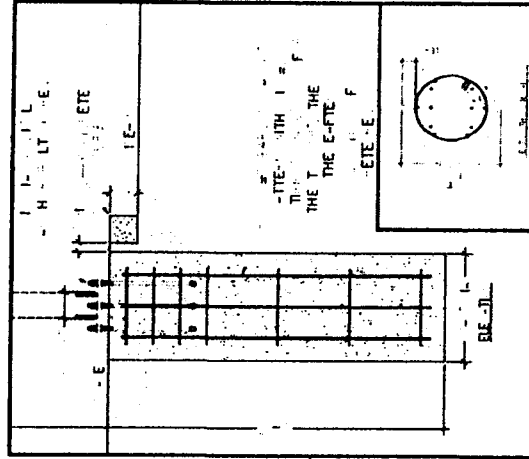
### GENERAL NOTES

1. NEW CONCRETE SUPPORTING CANOPY SHALL BE 3000 PSI (28-DAYS)
2. 66# TUBE FOOTING FOR HEADBAG HE BAR TO BE 3666# PSI STRENGTH
3. ALL REMOVED / DISTURBED SOIL WILL BE CONTAINED AND DISPOSED OF SO THAT NO SOIL WILL REACH THE NEAREST DRAIN PER BEST MANAGEMENT PRACTICES GUIDELINE(S).
4. REBAR MATS FOR CONCRETE ISLAND TOP & BOTTOM:  
 QTY 2-(13) #4 3'9" L6. (TOTAL 26)  
 QTY 2-(4) #4 13'6" L6. (TOTAL 8)  
 PLACE MATS USING 3" TYP CLEAR
5. SIGN MANUFACTURE UL CERTIFIED

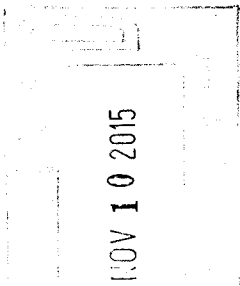


MANUFACTURING DETAIL WET STAMPED AND SIGNED BY LOCAL LICENSED STRUCTURAL ENGINEER, ACCOMPANIED FOR REFERENCE ONLY - MATERIAL AND COLOR SCHEDULE PROVIDED PER WET STAMP DETAIL(S).

**COLOR ELEVATION**  
 SCALE: NOT TO SCALE

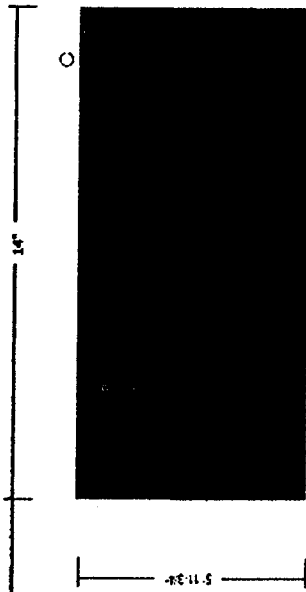


**HEADACHE BAR**

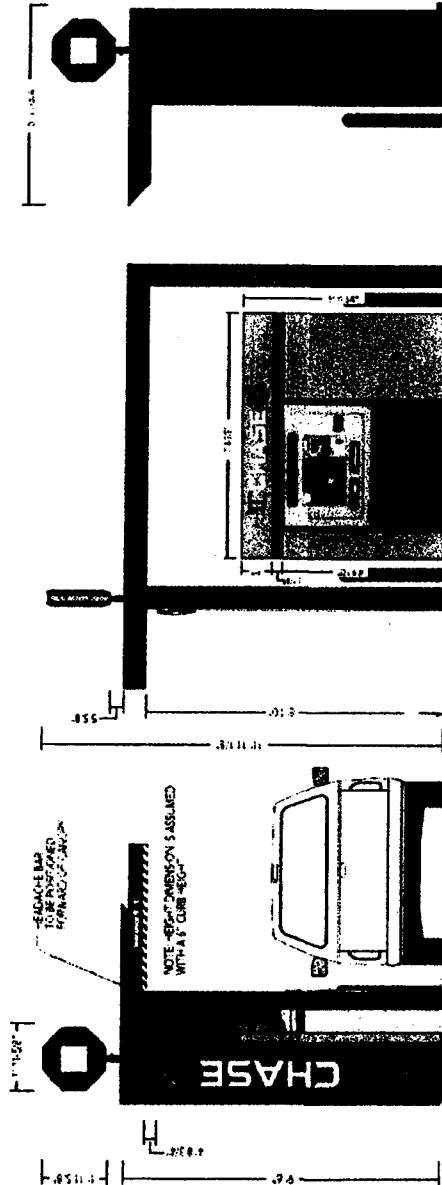


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**BUILDING CANOPY**



Plan View SCALE: 3/8" = 1' 0"



Approach Side FS\_Canopy\_b.s SCALE: 3/8" = 1' 0"

Front View 7'3.12'

Exit Side 7'3.35'-10.51'

MANUFACTURING DETAIL WET STAMPED AND SIGNED BY LOCAL LICENSED STRUCTURAL ENGINEER, ACCOMPANIED FOR REFERENCE ONLY - MATERIAL AND COLOR SCHEDULE PROVIDED PER WET STAMP DETAIL(S).

**FINISH BUILDING CANOPY**

NO SCALE

NOV 10 2015

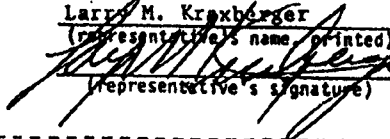
APPLICATION FOR REZONING  
TO THE  
COBB COUNTY BOARD OF COMMISSIONERS OF ROADS AND REVENUES  
AND THE  
COBB COUNTY PLANNING COMMISSION  
(type or print clearly)

Application No. 167

Hearing Date 8-18-87

Applicant The Oxford Group, Inc. Business Phone (404)952-7000 Home Phone N/A  
(business name)

Larry M. Kraxberger Address 1000 Parkwood Circle, Ste 200, Atlanta, GA  
(representative's name, printed)



Business Phone (404)952-7000 Home Phone (404)953-8700  
30339

Titleholder See attached Exhibit "A" Business Phone \_\_\_\_\_ Home Phone \_\_\_\_\_

Signature \_\_\_\_\_ Address \_\_\_\_\_  
(attach additional signatures, if needed)

Zoning Request From Planned, Shopping Center To General Commercial  
(present zoning) (proposed zoning)

For the Purpose of Shopping Center, Restaurants and Related Commercial Uses Size of Tract 24,2002 acre(s)  
(subdivision, restaurant, warehouse, apts., etc.)

Location Corner Austell Road, Mulkey Road, Brookwood Drive and proposed East/West  
(street address, if applicable, nearest intersection, etc.) Connector \_\_\_\_\_

Land Lot(s) 920 and 921 District 19th

Recommendation of Planning Commission 7/21/87 - Planning Commission continued public hearing for 30 days. Motion carried 4-0. 8/18/87 - Planning Commission recommended application be approved subject to the following: 1) signage to be ground based with no off-premise signs; 2) no portable signs; 3) subject to Cobb D.O.T. recommendations and review by Plan Review Committee; 4) architectural and landscaping plans to be reviewed and approved by the Staff with  
Henry A. ... Chairman cont.

Board of Commissioners' Decision 8/18/87 - Board of Commissioners approved application as stated above. Motion by Clay, seconded by Smith, carried 4-0-1, Paschal abstaining.

1-24-89 Regular Meeting of Board of Commissioners - Approval of site plan for the Oxford Group for Austell Road Development: Motion: To approve the site plan as submitted, marked Exhibit A  
Carl ... Chairman see second page

444

NOV 10 2015

PAGE 2 OF 2 :

NO. 167

COBB COUNTY BOARD OF COMMISSIONERS OF ROADS AND REVENUES  
COBB COUNTY PLANNING COMMISSION

Date of Application \_\_\_\_\_ Date of Hearing August 18, 1987

Applicant's Name The Oxford Group, Inc.  
1000 Parkwood Circle, Suite 200  
Address Atlanta, GA 30339

Recommendation of Planning Commission (Cont'd from page 1):

the Board of Commissioners having final approval of plan. Motion by McAfee, seconded  
by Jones, carried 5-0.

*Henry A. ...* Chairman

Final Decision of Board of Commissioners (Cont'd from page 1):

on file in the Zoning Department, for the Oxford Group's Austell Road development, located  
at the southeast intersection of Austell Road and Mulkey Road, and the northwest intersection  
of the East-West Connector and Brookwood Drive subject to all other stipulations placed on  
the property at the time of rezoning to remain in force. (Subject property was rezoned  
on July 21, 1988, Application No. 187) VOTE: ADOPTED unanimously  
11-21-89 Board of Commissioners approved revised site plan dated November 10, 1989, on file in the  
Planning and Zoning Department Offices. Motion by Phaschal, second by Burton. Carried 4-0-1  
Powell absent from vote.

*Carl E. ...* Chairman

*Philip L. ...* Chairman

Approved plan from #167 1987

NOV 10 2015

ROBERTSON  
LOIA  
ROOF

REGISTERED ARCHITECT

NO.	REVISION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
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**SITE**

RETAINING WALLS

REINFORCED CONCRETE

STEEL DECK

METAL PANELING

CEILING

FLOORING

PAINT

MECHANICAL

ELECTRICAL

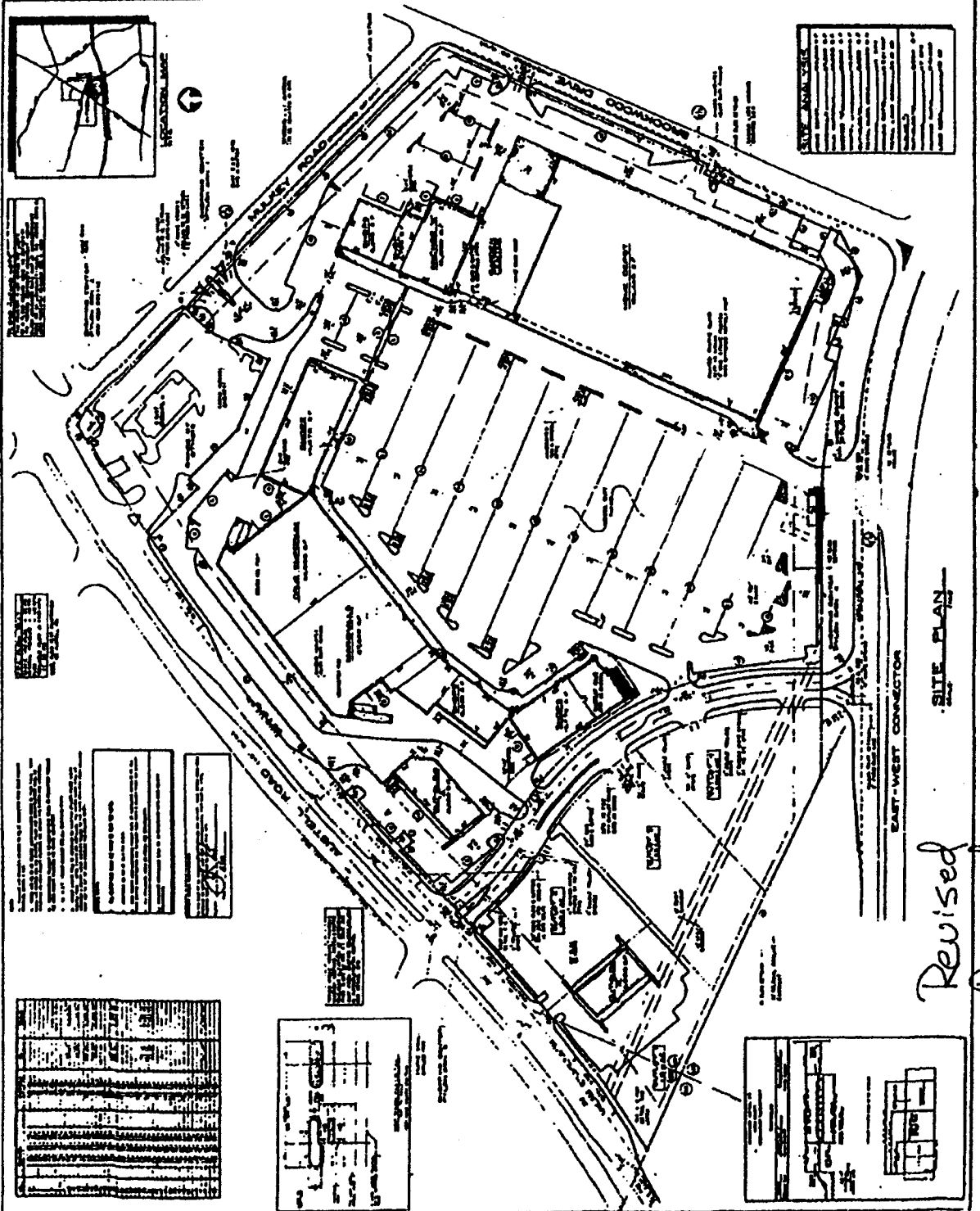
PLUMBING

GLASS CURTAIN WALL

**SITE PLAN**

NOV 1987

1	EXISTING BUILDING
2	PROPOSED BUILDING
3	PARKING SPACES
4	LANDSCAPE
5	UTILITIES
6	ACCESS DRIVERS
7	ACCESS PEDESTRIANS
8	ACCESS BICYCLES
9	ACCESS HANDICAPPED
10	ACCESS FIRE
11	ACCESS EMERGENCY
12	ACCESS TRUCKS
13	ACCESS TRAILERS
14	ACCESS CRANES
15	ACCESS RIGS
16	ACCESS LOADS
17	ACCESS EQUIPMENT
18	ACCESS MATERIALS
19	ACCESS SUPPLIES
20	ACCESS TOOLS
21	ACCESS PARTS
22	ACCESS WAREHOUSE
23	ACCESS OFFICE
24	ACCESS RESTROOM
25	ACCESS BREAK ROOM
26	ACCESS STORAGE
27	ACCESS EQUIPMENT ROOM
28	ACCESS ELECTRICAL ROOM
29	ACCESS MECHANICAL ROOM
30	ACCESS PLUMBING ROOM
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95	ACCESS GLASS ROOM
96	ACCESS METAL ROOM
97	ACCESS CEILING ROOM
98	ACCESS FLOORING ROOM
99	ACCESS PAINT ROOM
100	ACCESS MECHANICAL ROOM



Revised  
Proposed

SITE PLAN

EAST-WEST CONNECTOR



**KEY**

(Symbol)	EXISTING BUILDING
(Symbol)	PROPOSED BUILDING
(Symbol)	PARKING SPACES
(Symbol)	LANDSCAPE
(Symbol)	UTILITIES
(Symbol)	ACCESS DRIVERS
(Symbol)	ACCESS PEDESTRIANS
(Symbol)	ACCESS BICYCLES
(Symbol)	ACCESS HANDICAPPED
(Symbol)	ACCESS FIRE
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(Symbol)	ACCESS GLASS ROOM
(Symbol)	ACCESS METAL ROOM
(Symbol)	ACCESS CEILING ROOM
(Symbol)	ACCESS FLOORING ROOM
(Symbol)	ACCESS PAINT ROOM

**NOTES**

- SEE GENERAL NOTES AND SPECIFICATIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- ALL UTILITIES SHALL BE LOCATED AND DELETED PRIOR TO CONSTRUCTION.
- ALL RETAINING WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE LANDSCAPE ARCHITECTURE CODES.
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**CONTRACT NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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